



# Inspection Report

**Mr. and Mrs. Joe Sample**

**Property Address:**  
123 Anystreet  
Hometown MI 44444



123 Anystreet, Hometown MI 44444

## Up Close Home Inspection

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<b>Date:</b> 5/6/2015	<b>Time:</b> 01:00 PM	<b>Report ID:</b> 15-050601
<b>Property:</b> 123 Anystreet Hometown MI 44444	<b>Customer:</b> Mr. and Mrs. Joe Sample	<b>Real Estate Professional:</b> Bob Realtor Real Estate Company

### Comment Key or Definitions

The following are definitions of comment descriptions in this inspection report. All comments by the inspector should be considered before purchasing this home. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered before you purchase the property.

**Inspected (IN)** = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

**Not Inspected (NI)** = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

**Attention Needed (AN)** = This item or component requires minor adjustment or simple attention to function correctly.

**Maintenance Suggested (MS)** = The inspector recommends that the occupant bring the item, component or system back into good working order to prevent major future deficiencies and added expenses.

**Not Present (NP)** = This item, component or unit is not in this home or building.

**Repair or Replace (RR)** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

<b>Style of Home:</b> Bungalow	<b>Age Of Home:</b> Over 50 Years - Built in 1953	<b>Home Faces:</b> East
<b>Client Is Present:</b> No	<b>Radon Test:</b> No	<b>Water Test:</b> No
<b>Weather:</b> Clear	<b>Temperature:</b> Over 65	<b>Rain in last 3 days:</b> Yes

**1. Roof**

**The inspector shall inspect from ground level or eaves:** The roof covering. The gutters. The downspouts. The vents, flashings, skylights, chimney and other roof penetrations. The general structure of the roof from the readily accessible panels, doors or stairs.

**The inspector is not required to:** Walk on any roof surface, predict the service life expectancy, inspect underground downspout diverter drainage pipes, remove snow, ice, debris or other conditions that prohibit the observation of the roof surfaces, move insulation, inspect antennae, satellite dishes, lightning arresters, de-icing equipment, or similar attachments. Walk on any roof areas that appear, in the opinion of the inspector to be unsafe, and or cause damage. Perform a water test, warrant or certify the roof. Confirm proper fastening or installation of any roof material.

**ROOFING SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

Periodic roof examinations are suggested with attention to monitoring for missing or damaged shingles and deterioration over time. A visual examination of all roof surfaces should be done as a part of your twice-yearly maintenance activities. Your roof areas should also be checked after storms and major rainfall to ensure deterioration or damage has not occurred to roof cover, drainage components, flashings, and penetrations.

		IN	NI	AN	MS	NP	RR	Styles & Materials
1.0	Roof Covering	•						<b>Roof Covering type:</b> Architectural
1.1	Gutters and Downspouts	•						<b>Viewed roof covering</b> <b>from:</b> Ladder Walked roof
1.2	Flashing	•						<b>Sky Light(s):</b> None
1.3	Vents, Skylights, Chimney, and other roof penetrations	•						<b>Chimney (exterior):</b> Brick
1.4	Roof Structure and Attic	•						<b>Roof Structure:</b> 2 X 8 Rafters <b>Roof-Type:</b> Gable <b>Method used to observe</b> <b>attic:</b> Walked <b>Attic info:</b> Attic access

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**Comments:**

**1.0** The overall condition of the roof is above average. Roof was replaced in 2006 according to the BuildFax Report attached to the email that delivered this inspection report.

The roof of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**2. Exterior**

**The inspector shall inspect:** The siding, flashing and trim. All exterior doors, decks, stoops, steps, stairs, porches, railings, eaves, soffits and fascias. And report as in need of repair any spacing between intermediate balusters, spindles, or rails for steps, stairways, balconies, and railings that permit the passage of an object greater than four inches in diameter. A representative number of windows. The vegetation, surface drainage and retaining walls when these are likely to adversely affect the structure. And describe the exterior wall covering.

**The inspector is not required to:** Inspect or operate screens, storm windows, shutters, awnings, fences, outbuildings, or exterior accent lighting, Inspect items, including window and door flashings, which are not visible or readily accessible from the ground, Inspect geological, geotechnical, hydrological and/or soil conditions, Inspect recreational facilities, playground equipment. Inspect seawalls, break-walls and docks, Inspect erosion control and earth stabilization measures, Inspect for safety type glass, Inspect underground utilities, Inspect underground items, Inspect wells or springs, Inspect solar, wind or geothermal systems, Inspect swimming pools or spas, Inspect wastewater treatment systems septic systems or cesspools, Inspect irrigation or sprinkler systems, Inspect drain fields or drywells, Determine the integrity of multi-pane window glazing or the thermal window seals.

**EXTERIOR SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

Exterior elements should be inspected at least twice a year (spring and fall) to assess for items requiring repair or maintenance. This includes all exterior surface finishes; trims and flashings; eavestrough and downspouts; soffits and fascias; porches, decks and stairs; sidewalks and driveways; doors and windows; and roofs. Be particularly vigilant for conditions that may result in pest or water infiltration.

		IN	NI	AN	MS	NP	RR	Styles & Materials
2.0	Wall Covering, Flashing and Trim	•						<b>Siding Style:</b> Brick
2.1	All Exterior Doors	•						<b>Siding Material:</b> Full brick
2.2	Adjacent Walkways and Driveways	•						<b>Exterior Entry Doors:</b> Steel
2.3	Stairs, Steps, Stoops, Stairways and Ramps	•						<b>Appurtenance:</b> Covered porch
2.4	Porches, Patios, Decks, Balconies and Carports	•						<b>Driveway:</b> Concrete
2.5	Railings, Guards and Handrails	•		•				
2.6	Eaves Soffits and Fascia	•						
2.7	Windows (a representative number)	•			•			
2.8	Vegetation, Surface Drainage, Retaining Walls, Grading of the property, where they may adversely affect the structure due to moisture intrusion	•						

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IN NI AN MS NP RR

**Comments:**

**2.0** The overall condition of the exterior is above average for the age of the home.

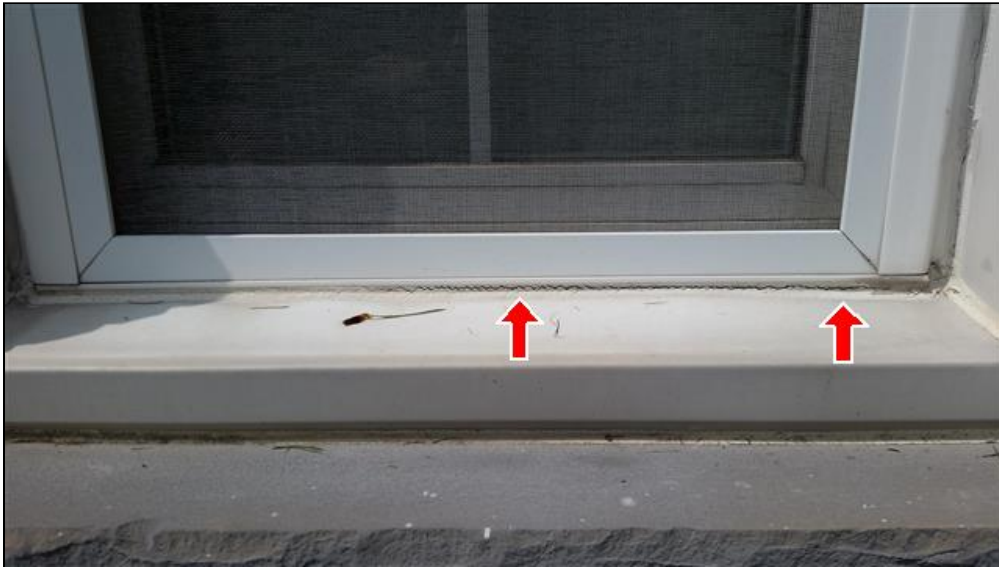
**2.5** North portion of driveway gate is fastened to the fence. Inspector did not loosen this fastening.



2.5 Item 1(Picture) North portion of driveway gate is fastened to the fence.

**2.7** Window seals are somewhat deteriorated. Maintenance is suggested to keep the windows in their current good condition. Window seals are somewhat deteriorated.





2.7 Item 1(Picture) Window seals are somewhat deteriorated.



2.7 Item 2(Picture) Window seals are somewhat deteriorated.



2.7 Item 3(Picture) Window seals are somewhat deteriorated.



2.7 Item 4(Picture) Window seals are somewhat deteriorated.



2.7 Item 5(Picture) Window seals are somewhat deteriorated.

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The exterior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**3. Basement, Foundation, Crawlspace and Structure**

**The inspector shall inspect:** The basement. The foundation. The crawlspace. The visible structural components. Any present conditions or clear indications of active water penetration observed by the inspector. And report any general indications of foundation movement that are observed by the inspector, such as but not limited to sheetrock cracks, brick cracks, out-of-square door frames or floor slopes.

**The inspector is not required to:** Enter any crawlspaces that are not readily accessible or where entry could cause damage or pose a hazard to the inspector, Move stored items or debris, Operate sump pumps with inaccessible floats, Identify size, spacing, span, location or determine adequacy of foundation bolting, bracing, joists, joist spans or support systems, Provide any engineering or architectural service, Report on the adequacy of any structural system or component.

**STRUCTURAL/BASEMENT SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

The condition of the foundation should be checked twice a year (spring and fall) for indication of change, movement, or deterioration. In addition, look for evidence of moisture infiltration, dampness, and mold. Visible wood structure elements should be checked at least twice a year for indications of deterioration or change. Items to check include visible areas of the floor structure (such as viewed from the basement), and an attic examination for the condition of the roof structure. Checks should include observing for water damage, pest infiltration, and deterioration.

		IN	NI	AN	MS	NP	RR	Styles & Materials
3.0	Foundation, Basement and Crawlspace (Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components.)	•						<b>Foundation:</b> Poured concrete <b>Method used to observe</b>
3.1	Walls (Structural)	•						<b>Crawlspace:</b> No crawlspace
3.2	Columns or Piers	•						<b>Floor Structure:</b> 2 X 8
3.3	Floors (Structural)	•						<b>Wall Structure:</b> 2 X 4 Wood
3.4	Ceilings (structural)	•						<b>Columns or Piers:</b> Steel lally columns <b>Ceiling Structure:</b> 2X8

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**Comments:**

**3.0** The overall condition of the structure and foundation is above average for the age of the home.

The structure of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**4. Heating and Cooling**

**The inspector shall inspect:** The heating system and describe the energy source and heating method using normal operating controls. And report as in need of repair electric furnaces which do not operate. And report if inspector deemed the furnace inaccessible. The central cooling equipment using normal operating controls.

**The inspector is not required to:** Inspect or evaluate interiors of flues or chimneys, fire chambers, heat exchangers, humidifiers, dehumidifiers, electronic air filters, solar heating systems, solar heating systems or fuel tanks. Inspect underground fuel tanks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the heating system. Light or ignite pilot flames. Activate heating, heat pump systems, or other heating systems when ambient temperatures or when other circumstances are not conducive to safe operation or may damage the equipment. Override electronic thermostats. Evaluate fuel quality. Verify thermostat calibration, heat anticipation or automatic setbacks, timers, programs or clocks. Determine the uniformity, temperature, flow, balance, distribution, size, capacity, BTU, or supply adequacy of the cooling system. Inspect window units, through-wall units, or electronic air filters. Operate equipment or systems if exterior temperature is below 60 degrees Fahrenheit or when other circumstances are not conducive to safe operation or may damage the equipment. Inspect or determine thermostat calibration, heat anticipation or automatic setbacks or clocks. Examine electrical current, coolant fluids or gasses, or coolant leakage.

**HEATING/COOLING SUGGESTIONS AND MAINTENANCE RECOMMENDATIONS:**

To ensure safe operation of the key components of the heating, cooling, and ventilation systems, annual service by a qualified specialist is recommended. Annual cleaning and maintenance will prolong the life of the installed components and increase energy efficiency. Filters that are part of your heating/cooling system should be checked periodically, and cleaned or replaced when required. Your home contains fuel-burning appliances. For your safety, carbon monoxide detector(s) should be installed and periodically tested. Monthly testing of these detectors is recommended.

		IN	NI	AN	MS	NP	RR	Styles & Materials
4.0	Heating System	•						<b>Heat Type:</b> Heat Pump Forced Air (also provides cool air)
4.1	Normal Operating Controls	•						<b>Energy Source:</b> Propane
4.2	Automatic Safety Controls	•						<b>Number of Heat Systems (excluding wood):</b> One
4.3	Distribution Systems (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)	•			•			<b>Heat System Brand:</b> HEIL
4.4	Presence of installed heat source in each room	•						<b>Ductwork:</b> Non-insulated
4.5	Chimneys, Flues and vents (for gas water heaters or heat systems)	•						<b>Cooling Equipment Type:</b> Heat Pump Forced Air (also provides warm air)
4.6	Cooling System	•						<b>Cooling Equipment Energy Source:</b> Electricity
4.7	Normal Operating Controls	•						<b>Central Air Manufacturer:</b> CARRIER
4.8	Presence of installed cooling source in each room	•						<b>Number of AC Only Units:</b> One

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**Comments:**

**4.0** The furnace while operable is an older model that has been serviced regularly. Inspector recommends annual servicing continue to extend the life of the system.



**4.3** Vent cover with adjustable damper lever is difficult to move and may require maintenance for easier operation.



4.3 Item 1(Picture) Vent cover with adjustable damper lever is difficult to move



4.6 (1) A/C unit was manufactured in April of 2014

SERIAL	1514E01583		
PROD	24ACB324A0030010		
MODEL	24ACB324A300		
METERING	TXU	NA	
DEVICE	INDOOR	OUTDOOR	
FACTORY CHARGED	R410A		
	3.72 LBS	1.69 KG	
INDOOR TXU SUB COOLING	13 °F		
POWER SUPPLY	208-230	VOLTS AC	
	1 PH	60 HZ	
PERMISSIBLE VOLTAGE AT UNIT			
	253 MAX	197 MIN	
SUITABLE FOR OUTDOOR USE			
COMPRESSOR	208/230	VOLTS AC	
	1 PH	60 HZ	
	13.5 RLA	58.3 LRA	
FAN MOTOR	208/230	VOLTS AC	
	1 PH	60 HZ	
	1/10 HP	0.77 FLA	
DESIGN/TEST PRESSURE GAGE			
HI	450 PSI	3103	KPA
LO	250 PSI	1724	KPA
MAX DESIGN/WORKING PRESSURE			
	700 PSIG	4826 KPA	
MINIMUM CIRCUIT AMPS			
	17.6		
MAX FUSE	MAX CKT-BKR(*)		25 A
	25 A		
Short Circuit Current: 5kA rms, symmetrical, 230 V			
 MODEL NUMBER 24ACB324A0030010			
 SERIAL NUMBER 1514E01583			
DATE OF MANUFACTURE APR 2014			

4.6 Item 1(Picture) A/C unit info label.

(2) Lawn debris noted in A/C unit. To ensure the A/C unit stays in good condition, inspector recommends covering the a/c unit (after ensuring the unit is not running) with a tarp while cutting the grass.



4.6 Item 2(Picture) awn debris noted in A/C unit.

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The heating and cooling system of this home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**5. Plumbing**

**The inspector shall:** Verify the presence of and identify the location of the main water shutoff valve. Inspect the water heating equipment, including combustion air, venting, connections, energy sources, seismic bracing, and verify the presence or absence of temperature-pressure relief valves and/or Watts 210 valves. Flush toilets. Run water in sinks, tubs, and showers. Inspect the interior water supply including all fixtures and faucets. Inspect the drain, waste and vent systems, including all fixtures. Describe any visible fuel storage systems. Inspect the drainage sump pumps testing sumps with accessible floats. Inspect and describe the water supply, drain, waste and main fuel shut-off valves, as well as the location of the water main and main fuel shut-off valves. Inspect and determine if the water supply is public or private. Inspect and report as in need of repair deficiencies in the water supply by viewing the functional flow in two fixtures operated simultaneously. Inspect and report as in need of repair deficiencies in installation and identification of hot and cold faucets. Inspect and report as in need of repair mechanical drain-stops that are missing or do not operate if installed in sinks, lavatories and tubs. Inspect and report as in need of repair commodes that have cracks in the ceramic material, are improperly mounted on the floor, leak, or have tank components which do not operate.

**The inspector is not required to:** Light or ignite pilot flames. Determine the size, temperature, age, life expectancy or adequacy of the water heater. Inspect interiors of flues or chimneys, water softening or filtering systems, well pumps or tanks, safety or shut-of valves, floor drains, lawn sprinkler systems or fire sprinkler systems. Determine the exact flow rate, volume, pressure, temperature, or adequacy of the water supply. Determine the water quality or potability or the reliability of the water supply or source. Open sealed plumbing access panels. Inspect clothes washing machines or their connections. Operate any main, branch or fixture valve. Test shower pans, tub and shower surrounds or enclosures for leakage. Evaluate the compliance with local or state conservation or energy standards, or the proper design or sizing of any water, waste or venting components, fixtures or piping. Determine the effectiveness of anti-siphon, back-flow prevention or drain-stop devices. Determine whether there are sufficient clean-outs for effective cleaning of drains. Evaluate gas, liquid propane or oil storage tanks. Inspect any private sewage waste disposal system or component of. Inspect water treatment systems or water filters. Inspect water storage tanks, pressure pumps or bladder tanks. Evaluate time to obtain hot water at fixtures, or perform testing of any kind to water heater elements. Evaluate or determine the adequacy of combustion air. Test, operate, open or close safety controls, manual stop valves and/or temperature or pressure relief valves. Examine ancillary systems or components, such as, but not limited to, those relating to solar water heating, hot water circulation.

**PLUMBING SUGGESTIONS AND MAINTENANCE RECOMMENDATIONS:**

Operate all shut off valves at least twice a year to ensure valves operate and to prevent the valve mechanisms from seizing over time.

		IN	NI	AN	MS	NP	RR	Styles & Materials
5.0	Main Water supply shut-off valve (Describe location)	•						<b>Water Source:</b> Public
5.1	Main Fuel Supply shut-off valve (Describe Location)	•						<b>Water Filters:</b> None
5.2	Water Heating Equipment, Controls, Chimneys, Flues and Vents	•						<b>Plumbing Water Supply</b>
5.3	Interior Water Supply, Fixtures, Faucets and Systems	•						<b>(into home):</b> Galvanized (old)
5.4	Drainage, Waste and Vent System	•						<b>Plumbing Water</b>
5.5	Interior Fuel Storage, Piping, Venting, Supports, Leaks	•						<b>Distribution (inside home):</b> Copper
5.6	Sump Pumps with accessible float					•		<b>Washer Drain Size:</b> 2" Diameter

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**IN NI AN MS NP RR**

**Plumbing Waste:**  
Cast iron

**Water Heater Power**

**Source:**  
Gas (quick recovery)

**Water Heater Capacity:**  
40 Gallon (1-2 people)

**Manufacturer:**  
AMERICAN

**Water Heater Location:**  
Basement

**Comments:**

**5.0** The overall condition of the plumbing is above average for the age of the home.

**5.1** Natural gas shut-off is located behind a "hidden-panel" in the basement wall. Pulling the shelf/panel outwards will expose the gas shut-off as seen in the picture.



5.1 Item 1(Picture) Natural gas shut-off is located behind a "hidden-panel"



5.1 Item 2(Picture) Natural gas shut-off.

5.2 Water heater manufactured August 2014.



5.2 Item 1(Picture) Water heater info label.

5.3 (1) Slight leak from kitchen sink spray attachment. Water may leak down the hose and collect under the sink. Inspector recommends replacement.



5.3 Item 1(Picture) Slight leak from kitchen sink spray attachment.

(2) Caulk bead behind basement bathroom sink is deteriorated. Inspector recommends re-caulking to avoid water penetrating behind the sink.



5.3 Item 2(Picture) Caulk bead behind basement bathroom sink is deteriorated.

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The plumbing in the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older homes with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fails under heavy use. If the water is turned off or not used for periods of time (like a vacant home waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.



**6. Electrical**

**The inspector shall inspect:** The service line. The meter box. The main disconnect. And determine the rating of the service amperage. Panels, breakers and fuses. The service grounding and bonding. A representative sampling of switches, receptacles, light fixtures, AFCI receptacles and test all GFCI receptacles and GFCI circuit breakers observed and deemed to be GFCI's during the inspection. And report the presence of solid conductor aluminum branch circuit wiring if readily visible. And report on any GFCI-tested receptacles in which power is not present, polarity is incorrect, the receptacle is not grounded, is not secured to the wall, the cover is not in place, the ground fault circuit interrupter devices are not properly installed or do not operate properly, or evidence of arcing or excessive heat is present. The service entrance conductors and the condition of their sheathing. The ground fault circuit interrupters observed and deemed to be GFCI's during the inspection with a GFCI tester. And describe the amperage rating of the service. And report the absence of smoke detectors. Service entrance cables and report as in need of repair deficiencies in the integrity of the insulation, drip loop, or separation of conductors at weatherheads and clearances.

**The inspector is not required to:** Insert any tool, probe or device into the main panel, sub-panels, downstream panel, or electrical fixtures. Operate electrical systems that are shut down. Remove panel covers or dead front covers if not readily accessible. Operate over current protection devices. Operate non-accessible smoke detectors. Measure or determine the amperage or voltage of the main service if not visibly labeled. Inspect the alarm system and components. Inspect the ancillary wiring or remote control devices. Activate any electrical systems or branch circuits which are not energized. Operate overload devices. Inspect low voltage systems, electrical de-icing tapes, swimming pool wiring or any time-controlled devices. Verify the continuity of the connected service ground. Inspect private or emergency electrical supply sources, including but not limited to generators, windmills, photovoltaic solar collectors, or battery or electrical storage facility. Inspect spark or lightning arrestors. Conduct voltage drop calculations. Determine the accuracy of breaker labeling. Inspect exterior lighting.

**ELECTRICAL SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

It is recommended that the main disconnect and circuit breakers be operated (turned off and on) periodically, to exercise these protective devices. Suggested frequency for this maintenance activity is once or twice a year. Circuit breakers that are not periodically operated may over time fail to operate to specifications.

Ground Fault Circuit Interrupt [GFCI] outlets should be tested in accordance with manufacturer's recommendations, to confirm these devices are operable and providing protection. Failure to operate periodically may result in the mechanical components of these devices becoming sticky or inoperable, thus not providing the intended personal protection. If uncertain about the frequency of testing, the suggested frequency of testing is once per month. Smoke detectors, fire detectors, and carbon monoxide detectors should be tested periodically in accordance with manufacturer's recommendation, to assure these devices are operable and providing protection. Failure to perform periodic test reduces assurance that the home's occupants will be alerted in the event of hazardous events. If uncertain about the frequency of testing, the suggested frequency of testing is once per month. If devices are operated by or contain batteries as back-up power, it is suggested that batteries be changed in accordance with manufacturer's recommendations, or every 6 months if not specified.

Do not open electrical boxes or fixtures, or remove wall plates, without first assuring circuits are powered off. The seller of the home currently uses easily removable plywood to cover the load center (breaker box) when not accessing it and that may not be acceptable to code.

		IN	NI	AN	MS	NP	RR	Styles & Materials
6.0	Service Entrance Conductors, Service Drop	•						<b>Electrical Service</b> <b>Conductors:</b> Overhead service <b>Panel capacity:</b> 100 AMP <b>Panel Type:</b> Circuit breakers <b>Electric Panel</b> <b>Manufacturer:</b> CUTLER HAMMER <b>Branch wire 15 and 20</b> <b>AMP:</b> Copper <b>Wiring Methods:</b> Romex
6.1	Electric Meter and Base, Main Disconnect, Main and Distribution Panels, Grounding	•						
6.2	Circuit Breakers, Fuses and Compatibility of their Amperage and Voltage	•						
6.3	Switches, Receptacles, Light Fixtures and Visible Wiring (observed from a representative number)	•						
6.4	Polarity and Grounding of Receptacles within 6 feet of Interior Plumbing Fixtures and all Receptacles in Garage, Carport, Exterior Walls of Inspected Structure	•					•	
6.5	All Ground Fault Circuit Interrupter Receptacles	•						
6.6	Location of Main and Distribution panels	•						
6.7	Smoke Detectors	•						
6.8	Carbon Monoxide Detector	•						

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IN NI AN MS NP RR

**Comments:**

**6.0** The overall condition of the electrical system is average for the age of the home.

**6.3** Receptacle cover is broken. Inspector recommends replacement.



6.3 Item 1(Picture) Receptacle cover is broken.

**6.4** Ground fault circuit interrupt protection outlets should be installed as replacements for any receptacles within 6 feet of interior plumbing.



6.4 Item 1(Picture) Standard receptacle (not GFCI) too close to water source.



6.4 Item 2(Picture) Standard receptacle (not GFCI) too close to water source.



6.4 Item 3(Picture) Standard receptacle (not GFCI) too close to water source.

6.7 Smoke detector in 2nd floor is an older model and should be replaced. Smoke detectors should also be installed in each bedroom on the first floor.



6.7 Item 1(Picture) Smoke detector in 2nd floor is an older model and should be replaced.

6.8 A carbon monoxide detector should be installed on each floor of the house.

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The electrical system of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**7. Fireplace**

**The inspector shall inspect:** The fireplace, and open and close the damper door if readily accessible and operable. Hearth extensions and other permanently installed components. And report as in need of repair deficiencies in the lintel, hearth and material surrounding the fireplace, including clearance from combustible materials.

**The inspector is not required to:** Inspect the flue or vent system. Inspect the interior of chimneys or flues, fire doors or screens, seals or gaskets, or mantels. Determine the need for a chimney sweep. Operate gas fireplace inserts. Light pilot flames. Determine the appropriateness of such installation. Inspect automatic fuel feed devices. Inspect combustion and/or make-up air devices. Inspect heat distribution assists whether gravity controlled or fan assisted. Ignite or extinguish fires. Determine draft characteristics. Move fireplace inserts, stoves, or firebox contents. Determine adequacy of draft, perform a smoke test or dismantle or remove any component. Perform an NFPA inspection. Perform a Phase 1 fireplace and chimney inspection.

IN NI AN MS NP RR **Styles & Materials**

7.0	Gas/LP Firelogs and Fireplaces	•	•				
7.1	Solid Fuel Heating Devices (Fireplaces, Woodstove)				•		
7.2	Chimneys Flues and Vents (for fireplaces)				•		

**Types of Fireplaces:**  
Non-vented gas logs

**Operable Fireplaces:**  
None

**Number of Woodstoves:**  
None

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IN NI AN MS NP RR

**Comments:**

**7.0** Natural gas line is not correctly hooked up or positioned for fireplace use. Inspector recommends correct placement of gas line prior to operation.



7.0 Item 1(Picture) Natural gas line is not correctly hooked up or positioned for fireplace use.

The Fireplace system of this home was inspected and reported on with the above information but it is incomplete. The liner or the safety aspect of the liner was not inspected. The inspection is not meant to be technically exhaustive and does not substitute an inspection by a certified chimney sweep. The inspection does not determine the safety of the fireplace in terms of the condition of liner or the absence of a liner. Any comments made by the inspector does not remove the need for an inspection by a certified chimney sweep. Chimneys should be inspected at least annually. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that a certified chimney sweep inspect the liner for safe operation.



**8. Insulation and Ventilation**

**The home inspector shall observe:** Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The home inspector shall describe: Insulation in unfinished spaces; and Absence of insulation in unfinished space at conditioned surfaces. The home inspector shall: Move insulation where readily visible evidence indicates the need to do so; and Move insulation where chimneys penetrate roofs, where plumbing drain/waste pipes penetrate floors, adjacent to earth filled stoops or porches, and at exterior doors. The home inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

**The inspector is not required to:** Enter the attic or any unfinished spaces that are not readily accessible, or where entry could cause damage or, in the inspector's opinion, pose a safety hazard. Move, touch or disturb insulation. Move, touch or disturb vapor retarders. Break or otherwise damage the surface finish or weather seal on or around access panels or covers. Identify the composition or R-value of insulation material. Activate thermostatically operated fans. Determine the types of materials used in insulation or wrapping of pipes, ducts, jackets, boilers or wiring. Determine the adequacy of ventilation.

**VENTILATION/INSULATION SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

Regular home maintenance activities should include a review of the home for signs of moisture and mold. We recommend reviewing all rooms and areas at least twice a year. Be conscious of air quality: molds need moisture to grow. Any signs of water leaks to the interior should be immediately addressed. Monitor indoor humidity; keeping relative humidity between 30 and 50% is suggested. To ensure moisture from dryer exhaust is safely vented to the exterior, clean your dryer filter every time the dryer is used. Check the dryer duct and exterior exhaust cover at least twice a year for blockages and lint build-up.

		IN	NI	AN	MS	NP	RR	Styles & Materials
8.0	Insulation in Attic	•			•			<b>Attic Insulation:</b> Fiberglass
8.1	Insulation Under Floor System					•		<b>Ventilation:</b> Gable vents Thermostatically controlled fan
8.2	Vapor Retarders (on ground in crawlspace or basement)					•		<b>Exhaust Fans:</b> Fan
8.3	Ventilation of Attic and Foundation Areas	•		•				<b>Dryer Power Source:</b> Gas Connection
8.4	Venting systems (Kitchens, Baths and Laundry)	•						<b>Dryer Vent:</b> Metal
8.5	Ventilation Fans and Thermostatic Controls (in Attic)	•						<b>Floor System Insulation:</b> NONE

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**Comments:**

**8.0** Some areas of insulation have fallen from the interior roof facing and should be re-fastened.

**8.3** Birds nest debris in the attic. Although there appear to be no current birds living in the attic, caution should be taken in removing this debris. It appears that the nest material was from a previous problem that was corrected by the placement of mesh wire screens over the gable vents.



8.3 Item 1(Picture) Birds nest debris in the attic.

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The insulation and ventilation of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**9. Interior**

**The inspector shall:** Open and close a representative number of doors and windows. Inspect the walls, ceilings, steps, stairways, and railings. Inspect garage doors and garage door openers by operating first by remote (if available) and then by the installed automatic door control. And report as in need of repair any installed electronic sensors that are not operable or not installed at proper heights above the garage door. And report as in need of repair any door locks or side ropes that have not been removed or disabled when garage door opener is in use. And report as in need of repair any windows that are obviously fogged or display other evidence of broken seals.

**The inspector is not required to:** Inspect paint, wallpaper, window treatments or finish treatments. Inspect central vacuum systems. Inspect safety glazing. Inspect security systems or components. Evaluate the fastening of countertops, cabinets, sink tops and fixtures, or firewall compromises. Move furniture, stored items, or any coverings like carpets or rugs in order to inspect the concealed floor structure. Move drop ceiling tiles. Inspect or move any household appliances. Inspect or operate equipment housed in the garage except as otherwise noted. Verify or certify safe operation of any auto reverse or related safety function of a garage door. Operate or evaluate security bar release and opening mechanisms, whether interior or exterior, including compliance with local, state, or federal standards. Operate any system, appliance or component that requires the use of special keys, codes, combinations, or devices. Operate or evaluate self-cleaning oven cycles, tilt guards/latches or signal lights. Inspect microwave ovens or test leakage from microwave ovens. Operate or examine any sauna, steam-jenny, kiln, toaster, ice-maker, coffee-maker, can-opener, bread-warmer, blender, instant hot water dispenser, or other small, ancillary devices. Inspect elevators. Inspect remote controls. Inspect appliances. Inspect items not permanently installed. Examine or operate any above-ground, movable, freestanding, or otherwise non-permanently installed pool/spa, recreational equipment or self-contained equipment. Come into contact with any pool or spa water in order to determine the system structure or components. Determine the adequacy of spa jet water force or bubble effect. Determine the structural integrity or leakage of a pool or spa.

**INTERIOR SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

Periodic inspection of your attic is suggested, to examine for evidence of water infiltration, as evidenced by water stains, rot, or mold. Examination after heavy rainstorms is suggested as the best opportunity to view current issues. A review of your home should be conducted at least twice a year. Items to include in this review include: checking all doors and windows for safe operation and protection against forced entry; checking smoke, fire, and carbon monoxide detectors, and fire extinguishers; practicing routines for fire safety and emergency situations; checking stair and railings for safety; etc.

		IN	NI	AN	MS	NP	RR	Styles & Materials
9.0	Ceilings	•						<b>Ceiling Materials:</b> Drywall Plaster Ceiling Tile
9.1	Walls	•						<b>Wall Material:</b> Drywall Plaster
9.2	Floors	•						<b>Floor Covering(s):</b> Carpet Laminated T&G Old 9" square tile (possible asbestos) Tile
9.3	Stairs, Steps, Landings, Stairways and Ramps and Railings, Guards and Handrails	•		•				<b>Interior Doors:</b> Hollow core
9.4	Counters and Cabinets (representative number)	•						<b>Window Types:</b> Double-hung
9.5	Doors (representative number)	•						<b>Window Manufacturer:</b> UNKNOWN
9.6	Windows (representative number)	•						<b>Cabinetry:</b> Wood
								<b>Countertop:</b> Laminate

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**Comments:**

**9.0** The overall condition of the interior is above average for the age of the home.

**9.2** Floor tile in 2nd floor and basement may be of the asbestos type. While harmless if left undisturbed, precautions should be taken if this tile is ever removed or replaced.



9.2 Item 1(Picture) Floor tile in 2nd floor may be of the asbestos type.



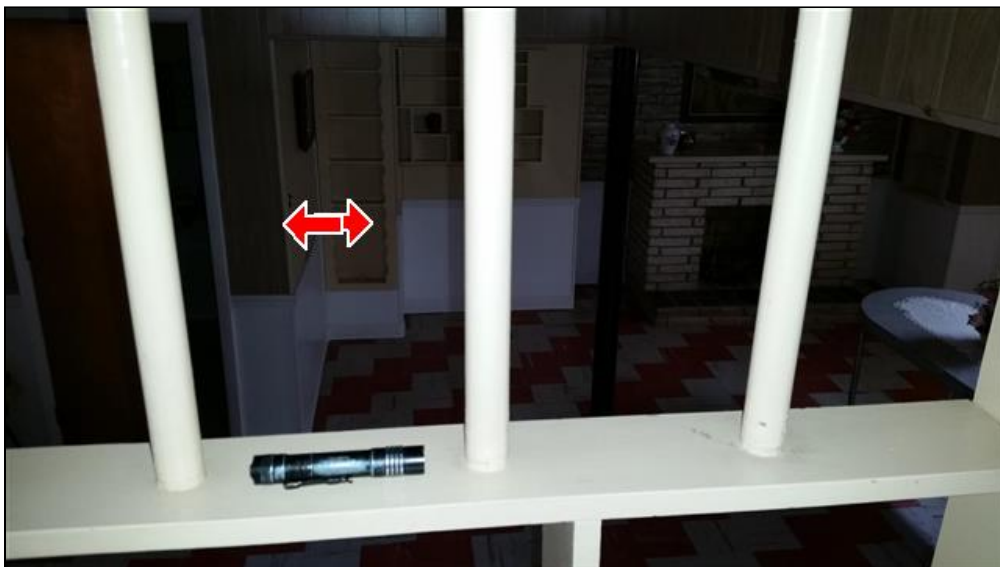
9.2 Item 2(Picture) Floor tile in basement may be of the asbestos type.

9.3 (1) Although the railing is sufficient, building code dictates that "handrails for stairways shall be continuous for the full length of the flight" of stairs. Future correction is recommended.



9.3 Item 1(Picture) Non-continuous railing to 2nd floor.

(2) Space between these baluster type rails on the basement stairs are greater than 4 inches apart. This poses a child safety risk. Inspector recommends placement of paneling over the rails to close them in or other remediation to ensure child safety in the home.



9.3 Item 2(Picture) Space between these baluster type rails on the basement stairs are greater than 4 inches apart.

9.5 Basement bathroom door does not close completely with pressure. Inspector recommends adjustment of striker in door jam to ensure proper closing.



9.5 Item 1(Picture) Basement bathroom door does not close completely with pressure.

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The interior of the home was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

**10. Garage**

**GARAGE SUGGESTIONS & MAINTENANCE RECOMMENDATIONS:**

You can easily perform some garage door system safety and maintenance tasks yourself. If you are not comfortable performing these tests, have them performed by a trained service technician.

**SAFETY NOTE:** To avoid injury, it's a good idea to let everyone in your household know that you are checking the garage door and that it is not to be opened or closed by anyone until you tell them you are finished.

The following tests and related maintenance should be performed in the following order:

Monthly visual inspection. Stand inside the garage with the garage door closed. Look over the garage door springs, cables, rollers, pulleys and mounting hardware, such as hinges, for signs of wear or damage. Look for cable wear or fraying. Is the mounting hardware becoming loose? If something doesn't look quite right - or doesn't sound quite right - it could be the symptom of a more serious issue. Have the garage door system inspected by a trained service technician.

Monthly door balance test. If your door is equipped with an automatic opener system: close the door and disconnect the automatic opener. Once you are able to lift the door manually: Lift the door. It should lift smoothly with little resistance and should remain fully open. If it is difficult to open or does not remain open, the door may be out of balance and should be serviced by a trained service technician.

Monthly reversing mechanism test (if your door is equipped with an automatic opener system). Note: garage door openers manufactured after January 1, 1993, are required by federal law to be equipped with a reversing mechanism and a photo eye or edge sensor as added measures of safety to prevent entrapment. If your system does not have these features, replacement of your automatic operating system is recommended.

With the door fully open, lay a piece of wood such as a section of a 2 x 4 on the floor in the center of the garage door opening where the door would touch the floor. Push your garage door opener's transmitter or wall button to close the door. When the door strikes the wood, the door should automatically reverse. If the door does not automatically reverse, the door should be serviced by a trained service technician.

Monthly photo eye test (if your door is equipped with an automatic opener system). Note: garage door openers manufactured after January 1, 1993, are required by federal law to be equipped with a reversing mechanism and a photo eye or edge sensor as added measures of safety to prevent entrapment. If your system does not have these features, replacement of your automatic operating system is recommended.

With the door fully open, push your garage door opener's transmitter or wall button to close the door. Wave a long object, such as a broomstick, in front of one of the door's photo eyes so it "breaks the beam." The door should reverse.

If it does not reverse and reopen, pull the broomstick out of the path of the closing door. Close the door. With the door in the closed position, clean the photo eyes with a soft, dry cloth. Gently adjust the photo eyes by hand if they appear to be out of alignment. Open the door and repeat the photo eye test. If the door does not reverse and reopen, the door should be serviced by a trained service technician.

Monthly force setting test (if your door is equipped with an automatic opener system). With the door fully open, push your garage door opener's transmitter or wall button to close the door. As the door is closing, hold up the bottom of the door with your hands outstretched and stiff. If the door does not easily reverse and continues to close, pull your hands away immediately. The closing force is excessive and the door should be serviced by a trained service technician.

Semi-annual lubrication. Apply a small amount of spray lubricant to the door's hinges, rollers and tracks.

		IN	NI	AN	MS	NP	RR	Styles & Materials
10.0	Garage Ceiling	•			•			<b>Garage Door Type:</b> One manual One automatic  <b>Garage Door Material:</b> Metal  <b>Auto-opener</b>  <b>Manufacturer:</b> 1/2 HORSEPOWER LINEAR
10.1	Garage Walls (Including Firewall Separation)	•						
10.2	Garage Floor	•						
10.3	Garage Door (s)	•						
10.4	Occupant Door from Garage to inside of home					•		
10.5	Garage Door Operators (Report whether or not doors will reverse when met with resistance)	•						
10.6	Exterior	•						
10.7	Windows	•						
10.8	Photo-electric safety sensors	•						

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IN NI AN MS NP RR



Comments:

10.0 Area of garage roof is slightly concave. Although no moisture penetration is apparent, future correction may prevent further problems.



10.0 Item 1(Picture) Area of garage roof is slightly concave.

**11. Built-In Kitchen Appliances**

		IN	NI	AN	MS	NP	RR	Styles & Materials
11.0	Dishwasher					•		<b>Dishwasher Brand:</b> NONE
11.1	Ranges/Ovens/Cooktops	•						<b>Disposer Brand:</b> BADGER
11.2	Range hood					•		<b>Exhaust/Range hood:</b> NONE
11.3	Trash Compactor					•		<b>Range/Oven:</b> GENERAL ELECTRIC
11.4	Food Waste Disposer	•						<b>Built in Microwave:</b> NONE
11.5	Microwave Cooking Equipment		•					<b>Trash Compactors:</b> NONE
11.6	Washing machine		•					
11.7	Clothes dryer		•					
11.8	Refridgerator		•					

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IN NI AN MS NP RR

**Comments:**



## INVOICE

Up Close Home Inspection  
 Jay@UpCloseHomeInspections.com  
 734-224-8080  
 www.upclosehomeinspections.com  
 Inspected By: Jay Latzman

Inspection Date: 5/6/2015  
 Report ID: 15-050601

Customer Info:	Inspection Property:
Mr. and Mrs. Joe Sample 123 Anystreet Hometown MI 44444	123 Anystreet Hometown MI 44444
<b>Customer's Real Estate Professional:</b> Bob Realtor Real Estate Company	

**Inspection Fee:**

Service	Price	Amount	Sub-Total
Heated Sq Ft 1,001 - 2,000	375.00	1	375.00
Over 50 Years Old	100.00	1	100.00
Advertisement Discount	-200.00	1	-200.00

**Tax \$0.00**

**Total Price \$275.00**

**Payment Method:** Cash

**Payment Status:** Paid

**Note:** Final total price \$275.00